



## MEMORANDUM

To: Hinesburg Development Review Board

From: Stephanie Hainley

Date: March 19, 2014

Re: Firehouse Plaza - Parking Revisions Submission Materials List

Enclosed please find the following materials for the parking revision to the site plan amendment application at Firehouse Plaza:

- 1) Memo re: "Firehouse Plaza - Parking Revision to Site Plan Amendment," from Stephanie Hainley, and dated March 18, 2014.
- 2) "Firehouse Plaza Site Plan Amendment - Landscape Plant List," prepared by Gail Henderson-King, White + Burke, and dated 3/14/14.
- 3) Sheet 1 "30-Scale Site Plan," prepared by O'Leary-Burke, dated 8/1/13, and revised 3/13/14.
- 4) Sheet 2 "Site Improvement Details and Specifications," prepared by O'Leary-Burke, dated 8/1/13, and revised 3/7/14.
- 5) Sheet 3 "Circulation Plan," prepared by O'Leary-Burke, dated 8/1/13, and revised 3/7/14.
- 6) Sheet 4 "Existing Circulation Plan," prepared by O'Leary-Burke, dated 8/1/13, and revised 3/7/14.



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Date: March 18, 2014

Re: Firehouse Plaza - Parking Revision to Site Plan Amendment

Thank you for allowing us to continue the hearing from the last meeting to April 1.

On February 24, we sent materials to the Town addressing staff's circulation concerns. Later that day, we were made aware that staff had directly contacted the property owner about circulation and stormwater concerns. We had already discussed these items with the owner previously and he concurred with our approach. However, the conversation drew attention to a different issue - an oversight in the agreement between applicant and property owner. In relocating the site's access, they had agreed to add and reconfigure some of the parking.

Thus, in addition to the relocated access, we are respectfully requesting the following changes to this site plan amendment application.

Sheet 1 "30-Scale Site Plan" shows the following revisions:

- Increased parking by a net of 7 spaces. Added row of parking along northern edge of pavement and removed some internal spaces.
- Shifted middle rows of parking south and reconfigured islands to improve circulation.
- Added landscaping along north and west sides of parking lot.
- Slightly widened new access to accommodate turning trucks.

Ten new parking spaces are being proposed along the northern edge of the parking lot. These will be located entirely within the existing paved area and will not increase impervious area. Three spaces within the existing parking area will be removed as a result, to allow for circulation. The northwest corner of the parking lot will be reclaimed,

seeded, and mulched; this will likely also be a good location for snow storage. The flow and quality of stormwater from the site will not be altered by this revised layout; the landscaping at the perimeter of the lot has been configured to ensure proper drainage and flow from the pavement to the swale.

Per the Hinesburg Zoning standard 4.3.8, we have added 40 shrubs to the perimeter of the parking lot. This landscaping is being added in lieu of a landscape island within the new row of ten spaces to reduce conflicts for snow plowing, while still providing screening. We are also proposing 11 shrubs in the landscape islands interior to the parking lot; 7 of these are replacements and 4 are new plants to augment the interior landscaping. The total estimated construction cost of this project is \$21,000 and the total additional landscaping budget (not including the 7 interior island replacement plantings) is \$3,225 (which well exceeds the 3% minimum required).

Sheet 3 "Circulation Plan" shows how tractor trailers will circulate counter-clockwise through the parking lot. It should be noted that this is a very conservative turning template, so most trucks will not require that space, but the site has been planned accordingly. As was mentioned in the materials of 2/24/14, the full size trucks that use this site (WB-62s) will swing into the exiting lane when entering the site. This is no different than the current access - as is shown on the attached Sheet 4 "Existing Circulation Plan." By relocating the access, current circumstances will improve because traffic queuing behind the truck waiting for cars to exit the site will queue on Commerce Street and not immediately back up onto Route 116. It is common for trucks to make wide entrances into sites and it is prudent not to overbuild these intersections for the occasional conflict. A 30' wide access is more than sufficient and is a typical access width. We are proposing to slightly widen the western turning radius into the access to ease this turn.

We believe these changes to be in conformance with the zoning regulations and respectfully request approval of these revisions.

# Firehouse Plaza Site Plan Amendment

## Landscape Plant List

Prepared by: Gail Henderson-King, PLA, White + Burke Real Estate Investment Advisors, Inc.

Date Prepared: 3/14/14



Botanical Name	Common Name	Quantity	Unit Cost	Total Cost	Remarks
<b>Trees and Shrubs</b>					
<i>Pinus mugo</i>	Mugo Pine	5	\$50	\$250	B&B or Container
<i>Rhus aromatica "Gro Low"</i>	Dwarf Fragrant Sumac	16	\$50	\$800	B&B or Container
<i>Spiraea bumalda</i>	Bumald Spirea	9	\$50	\$450	B&B or Container
<i>Taxus x media 'Densiformis'</i>	Anglojap Yew	23	\$75	\$1,725	B&B or Container
			<b>Subtotal</b>	<b>\$3,225</b>	
<b>Relocation of Existing Street Trees at New Entrance</b>		2	\$500	\$1,000	
<b>Replacement Shrubs in Landscaped Islands</b>					
<i>Rhus aromatica "Gro Low"</i>	Dwarf Fragrant Sumac	3	\$50	\$150	B&B or Container
<i>Spiraea bumalda</i>	Bumald Spirea	3	\$50	\$150	B&B or Container
<i>Pinus mugo</i>	Mugo Pine	1	\$50	\$50	B&B or Container
<b>Total Cost</b>				<b>\$4,575</b>	

## Scope of Work

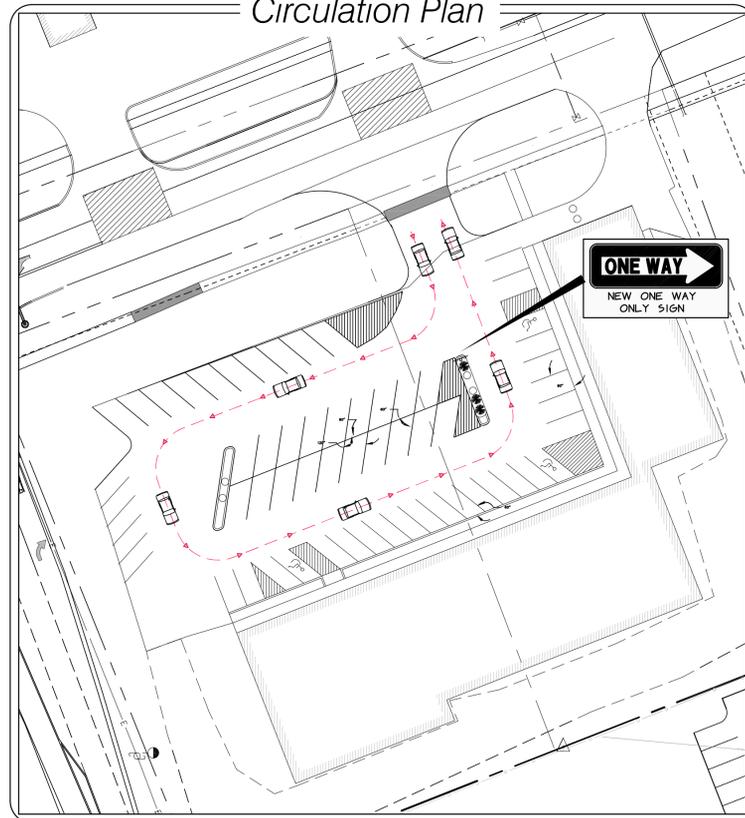
AS PART OF THE LOT 15 HANNAFORD APPROVAL THE TOWN REQUIRED THAT THE EXISTING ENTRANCE TO THE FIREHOUSE SHOPPING PLAZA BE RELOCATED TO IMPROVE TRAFFIC CIRCULATION AT THE COMMERCE STREET/VT 116 INTERSECTION.

THE CURRENT PROPOSAL IS TO REMOVE THE EXISTING FIREHOUSE PLAZA ENTRANCE AND BUILD A NEW ENTRANCE, WITH THE SAME DIMENSIONS, APPROXIMATELY 125 FEET TO THE EAST. THE NEW ENTRANCE WOULD ALIGN WITH THE EASTERN ENTRANCE TO THE JOLLY JIFFY MART.

A MORE DETAILED SCOPE OF WORK IS AS FOLLOWS:

1. CONTACT DIGSAFE AND THE TOWN OF HINESBURG TO COORDINATE WORK ON COMMERCE STREET.
2. REMOVE STREET TREES IDENTIFIED AS TO BE RELOCATED USING A MECHANICAL TREE SPADE.
3. CONSTRUCT NEW DRIVEWAY AND SIDEWALK CROSSING THE WORK SHALL INCLUDE EXCAVATION OR FILL NEEDED TO BRING THE DRIVEWAY TO SUBGRADE; INSTALLING MIRAFI 500X OR EQUAL SEPARATION FABRIC; INSTALLING 12" DENSE GRADED CRUSHED STONE; INSTALL 5' WIDE CONCRETE SIDEWALK ACROSS NEW DRIVEWAY AS DIRECTED; FINE GRADING; AND INSTALLING A 15' LIFT OF TYPE II PAVEMENT AND A 15' LIFT OF TYPE III PAVEMENT. THE SUBGRADE SHALL BE INSPECTED BY THE ENGINEER PRIOR TO PLACEMENT OF THE SEPARATION FABRIC.
4. INSTALL NEW 'ONE-WAY ONLY' DIRECTIONAL SIGN.
5. REMOVE EXISTING DRIVEWAY PAVEMENT, SUBBASE MATERIAL, EXISTING CULVERT AND BOLLARD LIGHTING; ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
6. CONSTRUCTION OF NEW GRASS DRAINAGE CHANNEL AS SHOWN, SEED AND MULCH.
7. RELOCATE OR REPLACE STREET TREES REMOVED UNDER WORK ITEM #2.
8. INSTALL NEW LIGHT BASES, BOLLARD LUMINARIES, AND ELECTRICAL CONDUIT AS DIRECTED.
9. INSTALL NEW LANDSCAPING AS DIRECTED.
10. RESTORE ALL PVIOUS AND IMPVIOUS SURFACES.

## Circulation Plan



GRAPHIC SCALE



( IN FEET )  
1 Inch = 30 ft.

## Legend

	PROPERTY BOUNDARY
	OTHER PROPERTY LINE
	SIDELINE OF EASEMENT
	CONTOUR LINE (USGS & DATUM)
	PROPOSED FINISH GRADE CONTOUR
	EDGE OF WOODED AREA
	EDGE OF WETLAND (CLASS III)
	EXISTING IRON PIPE
	EXISTING CONCRETE MONUMENT
	IRON PIPE (TO BE SET)
	PROPERTY BOUNDARY
	EXISTING ELECTRIC/TV/TELEPHONE LINE
	EXISTING SEWERLINE
	EXISTING STORMLINE
	EXISTING WATERLINE
	EXISTING/PROPOSED HYDRANT
	EXISTING/PROPOSED BUILDING MOUNTED LUMINAIRE
	CONSTRUCTION LIMITS OF DISTURBANCE

(NOTE: PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE)

## Zoning Information

ZONING DISTRICT: COMMERCIAL

DIMENSIONAL REQUIREMENTS

	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE	202-AC.
MINIMUM LOT FRONTAGE	60'	335'
MINIMUM LOT DEPTH	100'	270'
MINIMUM FRONT SETBACK	10'	>10'
MINIMUM SIDE SETBACK	10'	>10'
MINIMUM REAR SETBACK	10'	>10'
MAXIMUM LOT COVERAGE	60%	76%

\*NOTE: AS CURRENTLY APPROVED THE EXISTING LOT COVERAGE IS 77%. THE CURRENT PROPOSAL TO RELOCATE THE ENTRANCE DRIVE WILL REDUCES THE TOTAL COVERAGE TO 76%.

COVERAGE CALCULATION

PARCEL AREA (EXISTING) - 202-ACRES	PARCEL AREA (PROPOSED) - 202-ACRES
COVERAGE (EXISTING) - 156-ACRES	COVERAGE (PROPOSED) - 154-ACRES

PARKING

EXISTING: 52 SPACES (2 HANDICAPPED SPACES + 2 VAN ACCESSIBLE SPACES)
PROPOSED: 59 SPACES (2 HANDICAPPED SPACES + 2 VAN ACCESSIBLE SPACES)

## Landscape Schedule

SYMBOL	QUANTITY	COMMON NAME	BOTANIC NAME	SIZE AT PLANTING	SIZE AT MATURITY	REMARKS
Proposed Landscaping						
PM	6	Mugo Pine	Pinus mugo	18"-24" Height	3' Height	B&B or Container
SP	12	Bumald Spirea	Spiraea bumalda	18"-24" Height	3' Height	B&B or Container
TM	23	Spreading Yew	Taxus media	18"-24" Height	3' Height	B&B or Container
RA	19	Fragrant Sumac	Rhus aromatica	24" Height	5' Height	B&B or Container
Existing Landscaping						
	12	Existing Street Tree (to remain)				
	2	Existing Street Tree (to be relocated)				
	2	Relocated Street Tree				
	27	Existing Deciduous and Evergreen Shrubs (to remain)				

03/13/14	ADDED ADDITIONAL LANDSCAPING	RJR
03/07/14	ADDED PARKING, TRUCK TURNING TEMPLATE, AND REVISED ENTRANCE	RJR
02/18/14	MISC REVISIONS PER TOWN REVIEW	RJR
11/17/13	ADDED LIMITS OF DISTURBANCE	RJR
12/04/13	ADDED NEW BOLLARD LIGHTING AT RELOCATED ENTRANCE	RJR
DATE: 10/28/13	REVISION MISC. REVISIONS PER TOWN REVIEW	BY: RJR
SURVEY: OBCA	RECORD DRAWING	DATE: 8-01-13
DESIGN: EJD	PRELIMINARY	JOB#: 93066
DRAWN: JRF/BJB	FINAL	FILE: CURRENT
CHECKED: FJO		PLAN SHEET #
SCALE: 1"=30'		1

O'LEARY-BURKE  
CIVIL ASSOCIATES, PLC

1 CORPORATE DRIVE, SUITE #1  
ESSEX, VT 05733  
PHONE: 878-9989  
FAX: 878-9989  
E-MAIL: obca@olearyburke.com

Firehouse Plaza

30-Scale Site Plan

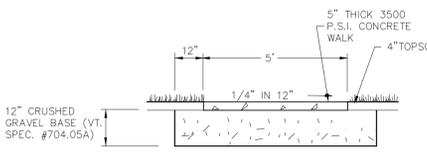
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# GENERAL CONSTRUCTION SPECIFICATIONS

- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL VERIFY NEW TAP LOCATIONS AND SHALL CONNECT ALL UTILITIES TO NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO COMPLETE THE WORK UNLESS NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION. ANY SURFACES, LINES OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO BEGINNING OF CONSTRUCTION.
- SEE OTHER DETAIL SHEETS OF THESE PLANS FOR ADDITIONAL DETAILS, REQUIREMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 1990 VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE TOWN PUBLIC WORKS SPECIFICATIONS, AND THESE PLANS.
- NEW PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH NOTE #4 ABOVE. ALL EXISTING PAVEMENT MARKINGS CONFLICTING WITH THE NEW IMPROVEMENTS SHALL BE REMOVED BY GRINDING OR BURNING.
- A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. IF DEEMED NECESSARY BY THE OWNER, MUNICIPALITY OR ENGINEER, A UNIFORMED TRAFFIC CONTROL OFFICER SHALL DIRECT TRAFFIC DURING PEAK HOURS. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE, OR SWEEP THE ROADWAY WITH A POWER BROOM FOR DUST CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, CUTTING PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL OR STONE FOR THE NEW BASE, PAVING, ALL TESTING, AND FINAL INSPECTION, IN ORDER TO ASSURE COMPLIANCE WITH THE PLANS.
- PRIOR TO BEGINNING CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, AND SHALL BE TESTED AT 500' INTERVALS, UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PIPES IN FILL AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT. A MINIMUM OF TWO (2) COMPACTION TESTS SHALL BE TAKEN AT THE CONTRACTOR'S EXPENSE, UNDER EACH RUN OF PIPE PRIOR TO INSTALLING THE PIPES. THE PIPES SHALL ONLY BE INSTALLED OVER ADEQUATELY COMPACTED SOILS.
- THE HAYBALE DAMS, SILT FENCES, AND DITCHES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR AFTER EVERY RAINFALL OR AS ORDERED BY THE ENGINEER UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR GRASSSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE THE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
- THIS DESIGN MUST BE INSPECTED BY O'LEARY-BURKE CIVIL ASSOCIATES, P.C., ESSEX JUNCTION, VERMONT. TO ENSURE COMPLIANCE WITH THESE PLANS, O'LEARY-BURKE WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THAT THE PLANS CONVEY, AND FROM FAILURE TO HAVE BEEN NOTIFIED BY THE CONTRACTOR TO INSPECT THE WORKS AND TESTS IN PROGRESS.
- ALL SLOPES, DITCHES AND DISTURBED AREAS SHALL BE GRADED SMOOTH, CLEAN AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.

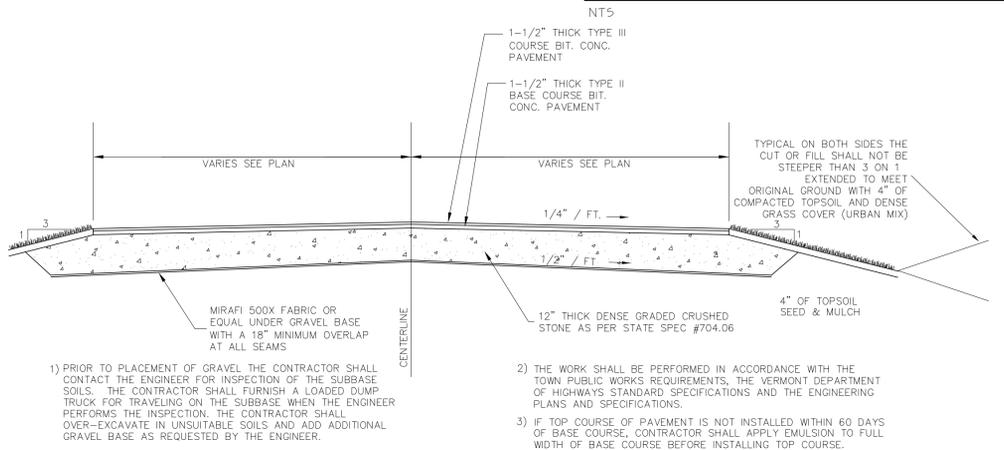
GRADATION REQUIREMENTS		
MATERIAL	SEIVE SIZE	PERCENT (%) PASSING
SAND CUSHION - VT SPEC 703.03	2"	100 %
	1 1/2"	90-100 %
	1/2"	70-100 %
	#4	60-100 %
	#100	0-20 %
GRAVEL FOR SUBBASE - VT SPEC 704.04	#4	20-60 %
	#100	0-12 %
	#200	0-6%
CRUSHED GRAVEL SURFACE COURSE TOWN SPEC	1 1/2"	100 %
	1"	90-100 %
	#4	45-65 %
	#200	7-10 %
DENSE GRADED CRUSHED STONE VT SPEC 704.06	3 1/2"	100 %
	3"	90-100%
	2"	75-100%
	1"	50-80%
	1/2"	30-60%
	#4	15-40%
	#200	0-6 %

# GRADATION REQUIREMENTS

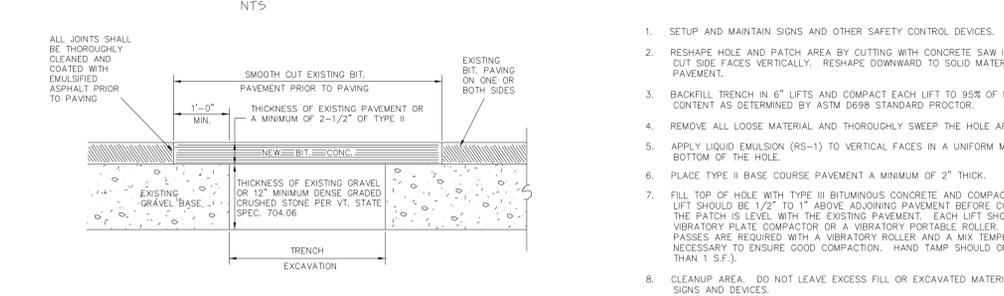


- SIDEWALK SHALL BE SCORED TO A DEPTH OF ONE INCH (1") EVERY FIVE FEET (5').
- CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO ASPHOTO DESIGNATION M-153 (1/2" SPONGE RUBBER OR CORK.)
- ALL EXPOSED SURFACES TO RECEIVE 2 COATS OF AN ANTI-SPALLING COMPOUND.
- CONCRETE SHALL BE 8" THICK AT DRIVEWAY CROSSINGS
- SIDEWALK SHALL SLOPE 1/4" PER 1' TOWARD POSITIVE DRAINAGE

# TYPICAL SIDEWALK SECTION



# TYPICAL DRIVEWAY SECTION



# REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT

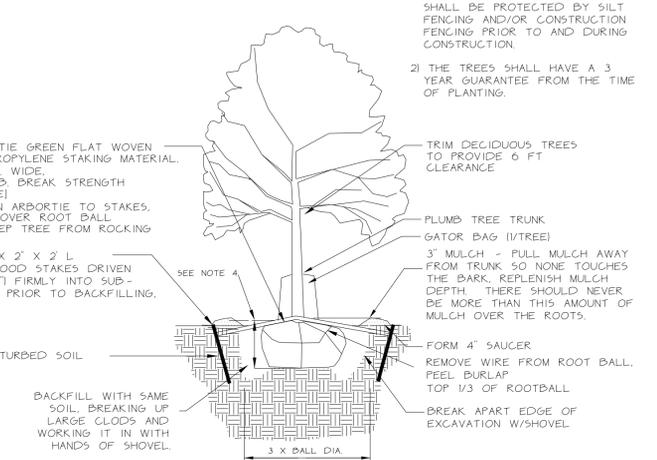
- SETUP AND MAINTAIN SIGNS AND OTHER SAFETY CONTROL DEVICES.
- RESHAPE HOLE AND PATCH AREA BY CUTTING WITH CONCRETE SAW INTO A SQUARE OR RECTANGULAR SHAPE. CUT SIDE FACES VERTICALLY. RESHAPE DOWNWARD TO SOLID MATERIAL AND AROUND HOLE TO SOLID PAVEMENT.
- BACKFILL TRENCH IN 6" LIFTS AND COMPACT EACH LIFT TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.
- REMOVE ALL LOOSE MATERIAL AND THOROUGHLY SWEEP THE HOLE AREA CLEAN OF MUD AND STANDING WATER.
- APPLY LIQUID EMULSION (RS-1) TO VERTICAL FACES IN A UNIFORM MANNER. DO NOT PUDDLE EMULSION ON BOTTOM OF THE HOLE.
- PLACE TYPE II BASE COURSE PAVEMENT A MINIMUM OF 2" THICK.
- FILL TOP OF HOLE WITH TYPE III BITUMINOUS CONCRETE AND COMPACT IN LIFTS OF NO MORE THAN 2". FINAL LIFT SHOULD BE 1/2" TO 1" ABOVE ADJOINING PAVEMENT BEFORE COMPACTION SO THAT AFTER COMPACTION THE PATCH IS LEVEL WITH THE EXISTING PAVEMENT. EACH LIFT SHOULD BE THOROUGHLY COMPACTED WITH A VIBRATORY PLATE COMPACTOR OR A VIBRATORY PORTABLE ROLLER. EXPERIENCE HAS SHOWN THAT 15 TO 20 PASSES ARE REQUIRED WITH A VIBRATORY ROLLER AND A MIX TEMPERATURE ABOVE 250 DEGREES F ARE NECESSARY TO ENSURE GOOD COMPACTION. HAND TAMP SHOULD ONLY BE USED FOR SMALL AREAS (LESS THAN 1 S.F.).
- CLEANUP AREA. DO NOT LEAVE EXCESS FILL OR EXCAVATED MATERIAL ON THE PAVEMENT. REMOVE SAFETY SIGNS AND DEVICES.

# LANDSCAPING SPECIFICATIONS

ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO NOVEMBER 1 OF EACH YEAR. ANY DISTURBED AREAS SHALL BE IMMEDIATELY SEEDED AND MULCHED WITHIN 15 DAYS. ANY WORK PERFORMED AFTER NOVEMBER 1 OF EACH YEAR SHALL BE STABILIZED WITH MULCH OR NETTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDED AND REMULCHED AS SOON AS WEATHER PERMITS IN THE SPRING. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND BE SEEDED, FERTILIZED, LIMED, AND MULCHED IN ACCORDANCE WITH THE FOLLOWING:

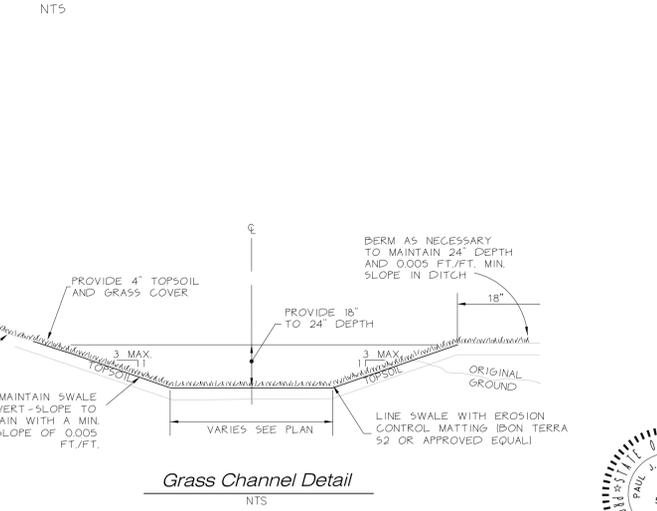
- SEED MIXTURE IN ALL AREAS SHALL BE URBAN MIX CONFORMING TO THE TABLE SHOWN ON THE PLANS. FOR SEEDING BETWEEN SEPTEMBER 1 AND NOVEMBER 1 WINTER RYE SHALL BE USED AT AN APPLICATION RATE OF 100 POUNDS PER ACRE.
- FERTILIZER SHALL BE STANDARD COMMERCIAL GRADE CONFORMING TO THE STATE FERTILIZER LAW AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. DRY FERTILIZER, IF USED SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. LIQUID FERTILIZER, IF USED, SHALL BE APPLIED IN A 1-2-1 RATIO WITH THE MINIMUM RATE TO INCLUDE 100 POUNDS OF NITROGEN, 200 POUNDS OF PHOSPHATE, AND 100 POUNDS OF POTASH PER ACRE.
- LIMESTONE SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. THE LIMESTONE SHALL BE APPLIED AT A RATE OF TWO TONS PER ACRE OR AS DIRECTED.
- WITHIN 24 HOURS OF APPLICATION OF FERTILIZER, LIME, AND SEED, THE SURFACE SHALL BE MULCHED WITH A HAY MULCH. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A RATE OF TWO TONS PER ACRE OR AS ORDERED BY THE ENGINEER.

URBAN MIX GRASS SEED		
% BY WEIGHT	LIBS. LIVE SEED PER ACRE	TYPE OF SEED
37.5	45	CREeping RED FESCUE
37.25	37.5	KENTUCKY BLUEGRASS
31.25	37.5	WINTER HARDY, PERENNIAL RYE
100	120 # LIVE SEED PER ACRE	



- STAKING AS REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
- EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
- FIND THE MAIN ROOT SYSTEM AND REMOVE EXCESS SOIL. REMOVE SOILS FROM THE TOP OF THE ROOT BALL UNTIL THE TOP OF THE MAIN ROOT SYSTEM IS EXPOSED. THERE SHOULD BE SEVERAL ROOTS AT LEAST AS BIG AS A FINGRIL EXTENDING IN OPPOSITE DIRECTIONS FROM THE TRUNK.
- DEPTH TO DIG: MEASURE THE HEIGHT OF THE REMAINING ROOT BALL AFTER REMOVING EXCESS SOIL TO FIND THE MAIN ROOT SYSTEM AS DESCRIBED ABOVE.
- TREES TO BE RELOCATED SHALL BE MOVED USING A MECHANICAL TREE SPADE NOT A BACKHOE.
- TREES TO BE RELOCATED SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET AND TO A WIDTH OF EITHER A) THE MINIMUM WIDTH OF THE SOIL BALL MEASURED DRIP EDGE TO DRIP EDGE OR B) 1 FOOT RADIUS PER INCH TREE CALIPER, WHICH EVER IS GREATER.
- TREES TO BE RELOCATED SHALL BE MOVED IN EARLY SPRING.

# TREE PLANTING/RELOCATION DETAIL



### CLEAR LENS - DOME TOP ROUND BOLLARD

**HCD SERIES**

Notes

SPEC #	WATTAGE	CATALOG #	(L) VOLTAGE SUFFIX KEY	(D) OPTIONS (factory-installed)
<b>METAL HALIDE</b>				
1	120W MH	HC2405-(a)(b)	120/27V	18" Shaded Clear Lens
2	70W MH	HC2407-(a)(b)	120/27V/40/27V	Flashing
3	150W MH	HC2410-(a)(b)	120/150 MH	Tamperproof Lens Fasteners
<b>HIGH PRESSURE SODIUM</b>				
1	35W HPS	HC3503-(a)(b)	120/27/34V (Canada Only)	Flashing
2	50W HPS	HC3505-(a)(b)	120V Standard, 35W HPS	Flashing
3	70W HPS	HC3507-(a)(b)	2 27V	Flashing
4	100W HPS	HC3510-(a)(b)	2 20V	Flashing
<b>FLUORESCENT</b>				
1	26/32/42W FL	HC3242-(a)(b)	120 - 27V Universal Voltage (Fluorescent Ballast)	Flashing

**GENERAL DESCRIPTION:** Extruded aluminum housing supplied internally with a formed and channelled 16 gauge steel frame supports the electrical components and main reflector. Housing fasteners to a die-cast aluminum base with four 1/4"-20 Phillips flat head screws. Base is secured to concrete footing using provided masonite template and three 3/8" x 6" (152 mm) galvanized steel anchor bolts with leveling nuts and washers. Suggested poured base: 2" (51 mm) deep x 12" (305 mm) dia. depending on soil types and frost line in your area. A 3" (76 mm) dia. conduit opening is provided in the base for ease of wiring. Injection molded clear polycarbonate lens with specular collecting reflector attaches to the top of the housing with an overlapping die-cast aluminum retaining ring, held by two stainless-steel allen flat head fasteners. Die cast aluminum dome is held to the top of the lens with two #8 screws. Two silicone lens seals prevent moisture from entering the lens, while a double lip silicone seal at the top of the reflector and sealed lampholder prevent insects, dirt and moisture from entering the optical chamber.

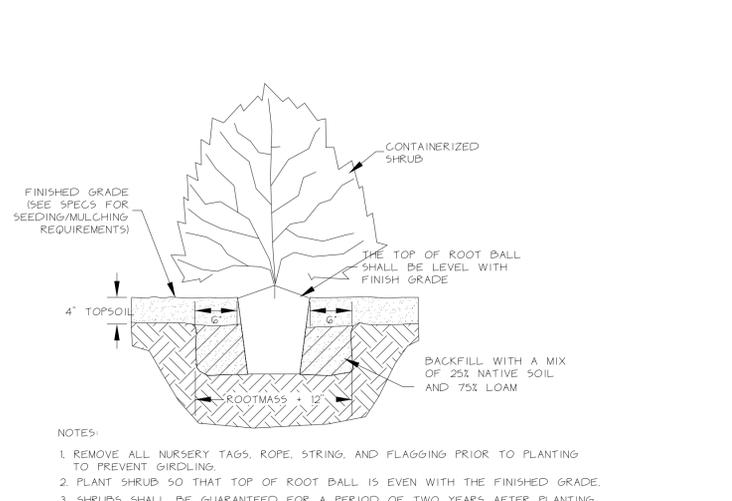
**ELECTRICAL:** Electronic Reactor (120V only) 35W HPS. High Resistance 50 - 100W MH; 50 - 100W HPS. US PAT #40,934

**FINISH:** Exclusive Colorfast DatalGuard® finish features an E-coat epoxy primer with medium bronze acrylic powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

**LABELS:** ANSI lamp wattage label supplied, visible during re-lamping. UL Listed in the US and Canada for wet locations and enclosure classified IP65 per IEC 529 and IEC 588.

**ACCESSORIES:** NCL Louver, TFS-1 Tamperproof Screwdriver

9201 Washington Avenue Racine, Wisconsin 53406-3772 USA PHONE (262) 886-1900 FAX (262) 884-3309  
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# SHRUB PLANTING DETAIL

- REMOVE ALL NURSERY TAGS, ROPE, STRING, AND FLAGGING PRIOR TO PLANTING TO PREVENT GIRDLING.
- PLANT SHRUB SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
- SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.

03/07/14 ADDED PARKING, TRUCK TURNING TEMPLATE, REVISED ENTRANCE

02/18/14 MISC REVISIONS PER TOWN REVIEW

12/04/13 ADDED NEW BOLLARD LIGHTING AT RELOCATED ENTRANCE

DATE 10/28/13 REVISION MISC REVISIONS PER TOWN REVIEW

SURVEY OBCA RECORD DRAWING PRELIMINARY

DESIGN EJB FINAL SKETCH/CONCEPT

DRAWN JRF/JBB

CHECKED PJO

SCALE 1" = 10'

NTS

**O'LEARY-BURKE CIVIL ASSOCIATES, PLC**

1 CORPORATE DRIVE, SUITE #1  
 ESSEX, VT  
 PHONE: 878-9989  
 FAX: 878-9989  
 E-MAIL: ocbca@olearyburke.com

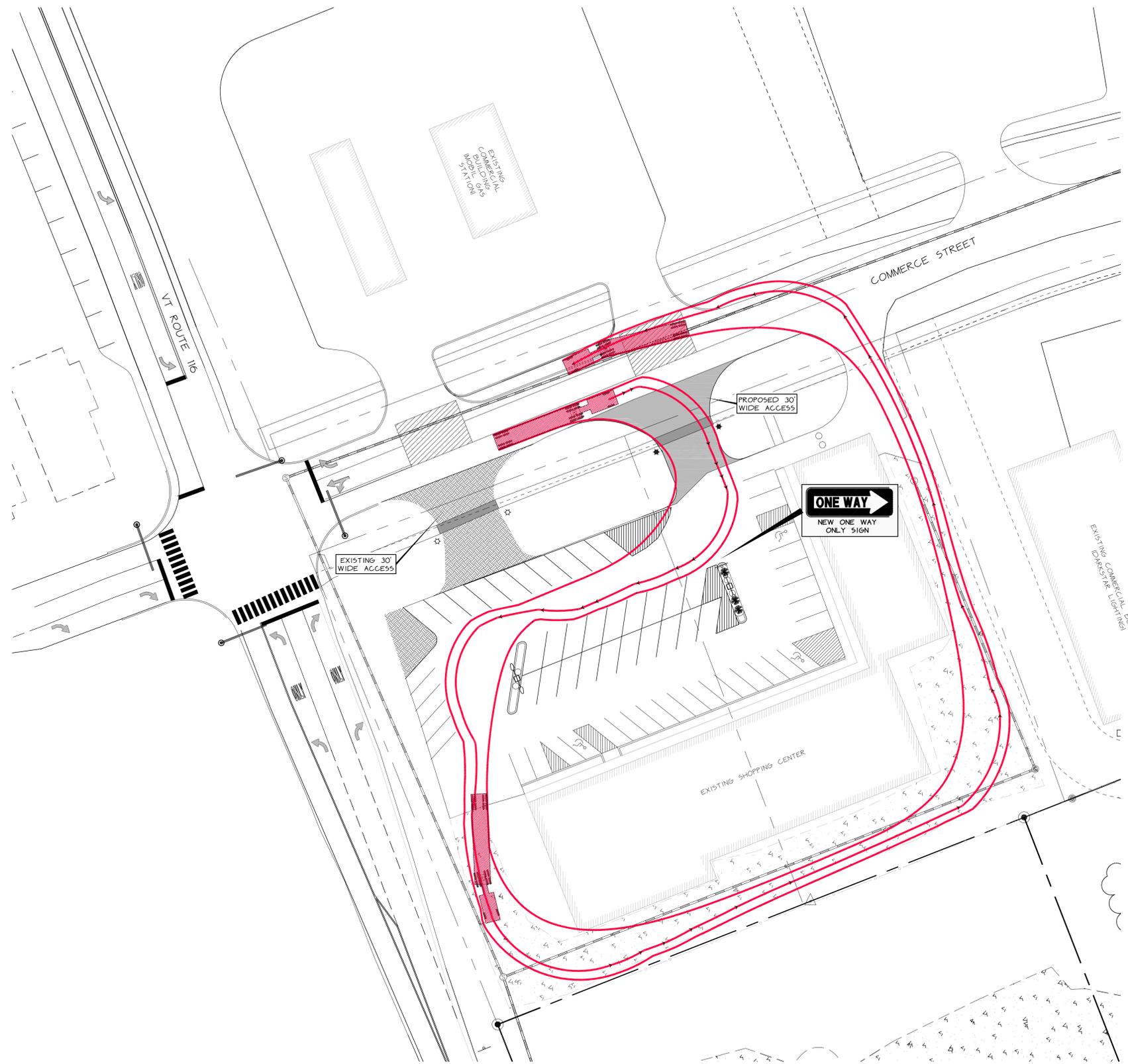
**Firehouse Plaza**

VT Route 116 Hinesburg, VT

**Site Improvement**

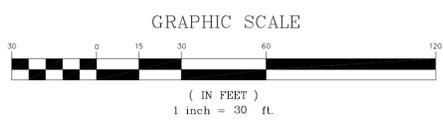
**Details & Specifications**

DATE 8-01-13  
 JOB# 9066  
 FILE CURRENT  
 PLAN SHEET # 2



**Summary of Vehicle Turning Movements**

 48' FULL SIZE SEMI TRAILER (WB - 62) @ PROPOSED ACCESS



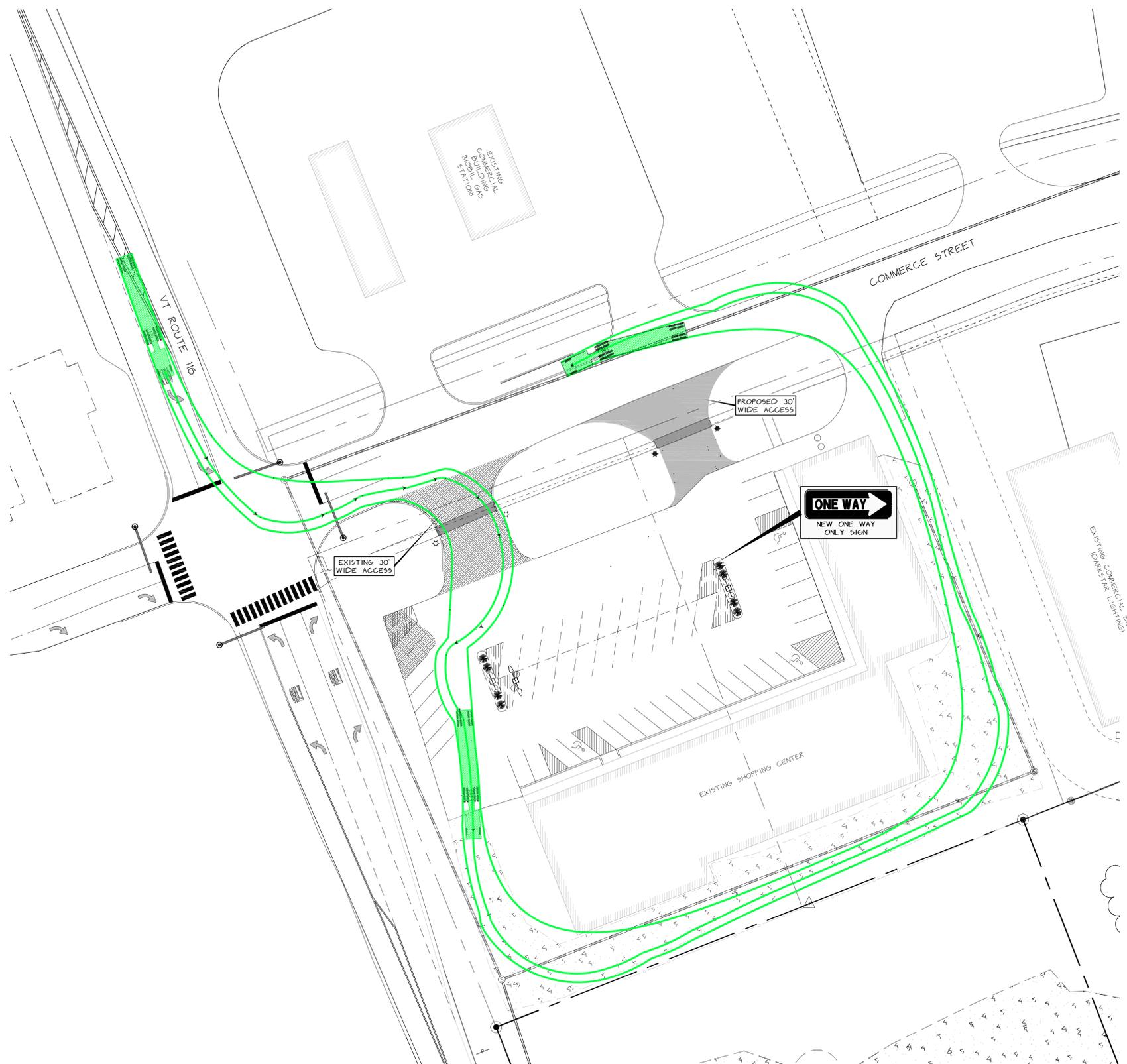
03/07/14	ADDED PARKING, TRUCK TURNING TEMPLATE, REVISED ENTRANCE	BAR
02/18/14	MISC REVISIONS PER TOWN REVIEW	ELB
11/17/13	ADDED LIMITS OF DISTURBANCE	ELB
12/04/13	ADDED NEW BOLLARD LIGHTING AT RELOCATED ENTRANCE	ELB
DATE	REVISION/MISC. REVISIONS PER TOWN REVIEW	BY
10/28/13	REVISION/MISC. REVISIONS PER TOWN REVIEW	ELB
SURVEY	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE
OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	8-01-13
DESIGN		JOB#
ELJ		93066
DRAWN		FILE
JRF / BJB		CURRENT
CHECKED		PLAN SHEET #
FJO		3
SCALE	1" = 30'	

**O'LEARY-BURKE CIVIL ASSOCIATES, PLC**

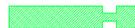
1 CORPORATE DRIVE, SUITE #1  
ESSEX JCT., VT  
PHONE: 878-9989  
FAX: 878-9989  
E-MAIL: obca@olearyburke.com

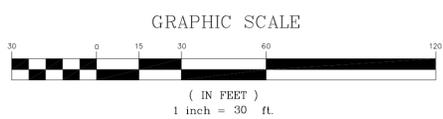
**Firehouse Plaza**  
VT Route 116 Hinesburg, VT

**Proposed Circulation Plan**



*Summary of Vehicle Turning Movements*

 48' FULL SIZE SEMI TRAILER (WB-62) @ EXISTING ACCESS



03/07/14	ADDED PARKING, TRUCK TURNING TEMPLATE, REVISED ENTRANCE	ELB
02/18/14	MISC. REVISIONS PER TOWN REVIEW	ELB
11/17/13	ADDED LIMITS OF DISTURBANCE	ELB
12/04/13	ADDED NEW BOLLARD LIGHTING AT RELOCATED ENTRANCE	ELB
DATE	REVISION/MISC. REVISIONS PER TOWN REVIEW	BY
10/28/13	REVISION/MISC. REVISIONS PER TOWN REVIEW	ELB
SURVEY	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE
OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	8-01-13
DESIGN		JOB#
ELB		13056
DRAWN		FILE
JRF / BJB		CURRENT
CHECKED		PLAN SHEET #
FJO		4
SCALE		
1" = 30'		

**O'LEARY-BURKE**  
**CIVIL ASSOCIATES, PLC**

1 CORPORATE DRIVE, SUITE #1  
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PHONE: 878-9989  
FAX: 878-9989  
E-MAIL: obca@olearyburke.com

*Firehouse Plaza*

VT Route 116 Hinesburg, VT

*Existing Circulation Plan*