



MEMORANDUM

To: Hinesburg Development Review Board

From: Stephanie Hainley

Date: October 15, 2013

Re: Firehouse Plaza - Site Plan Amendment Submission Materials List

Enclosed please find the following application materials for the site plan amendment to the Firehouse Plaza, tax map parcels #20-50-74.000 and #20-50-75.000:

- 1) Memo re: "Firehouse Plaza - Site Plan Amendment," from Stephanie Hainley, and dated October 14, 2013.
- 2) Hinesburg Development Review Board Application Form, signed & dated October 9, 2013 and October 14, 2013.
- 3) Check #16428 for \$310 (\$300 Site Plan Revision fee + \$10 recording fee), dated October 10, 2013.
- 4) Sheet 1 "Firehouse Plaza - 30-Scale Site Plan," prepared by O'Leary-Burke Civil Associates, and dated August 1, 2013.



MEMORANDUM

To: Hinesburg Development Review Board

From: Stephanie Hainley

Date: October 14, 2013

Re: Firehouse Plaza - Site Plan Amendment

This application seeks to amend the site plan for Firehouse Plaza, tax map #20-50-74.000 and #20-50-75.000. Per finding 16(b) of the Hannaford Site Plan Approval dated 11/7/12, Hannaford must "relocate the existing [Firehouse Plaza] driveway further to the East to facilitate traffic movements on Commerce Street." As can be seen on the attached site plan, this application proposes to relocate the Firehouse Plaza curb cut to the east and close the existing westerly curb cut, resulting in a small decrease in lot coverage and no changes to the stormwater flow. The closed curb cut will be re-curbed; reclaimed, seeded & mulched; the sidewalk replaced; and the "One Way Only" sign currently at that entrance will be relocated to the easterly island of the parking lot.

No other amendments are proposed as part of this application. These changes will be completed in the 2014-2015 construction season.

Please do not hesitate with any questions or concerns.

HINESBURG DEVELOPMENT REVIEW BOARD

FIREHOUSE PLAZA - APPLICATION FORM

Please complete this application thoroughly, accurately, and attach the required information. Please note incomplete applications will not be accepted for processing and may delay your hearing before the Development Review Board. If you have any questions please call the Zoning Administrator's office: 802-482-3619

Tax Map # 20-50-74.000 and 20-50-75.000

Project Location: Firehouse Plaza, 20 Commerce Street, Hinesburg, VT 05461

Applicant: Tyler Sterling (Hannaford Bros. Co.) Contact: Stephanie Hainley (White + Burke)

Phone #: 802.862.1225 x16 Fax #: 802.862.3601 Cell #: _____

Address: P.O. Box 1007 City: Burlington ST: VT Zip: 05401

Email: shainley@whiteandburke.com

Property Owner (if different from Applicant): Aubuchon Realty Company Inc

Phone #: 978-874-0521 Fax #: 978-874-6678 Cell #: _____

Address: 23 West Main St City: Westminster ST: MA Zip: 01473

Email: gmoran@aubuchon.com

REVISION OF AN APPROVED SITE PLAN

Please be sure to receive and review the appropriate application checklist for submission requirements and other information.

Signature of Gregory J Moran

10/9/13

Signature of Landowner(s)

Date

Signature of Tyler Sterling

10-14-13

Signature of Applicant(s) (If different from Landowner)

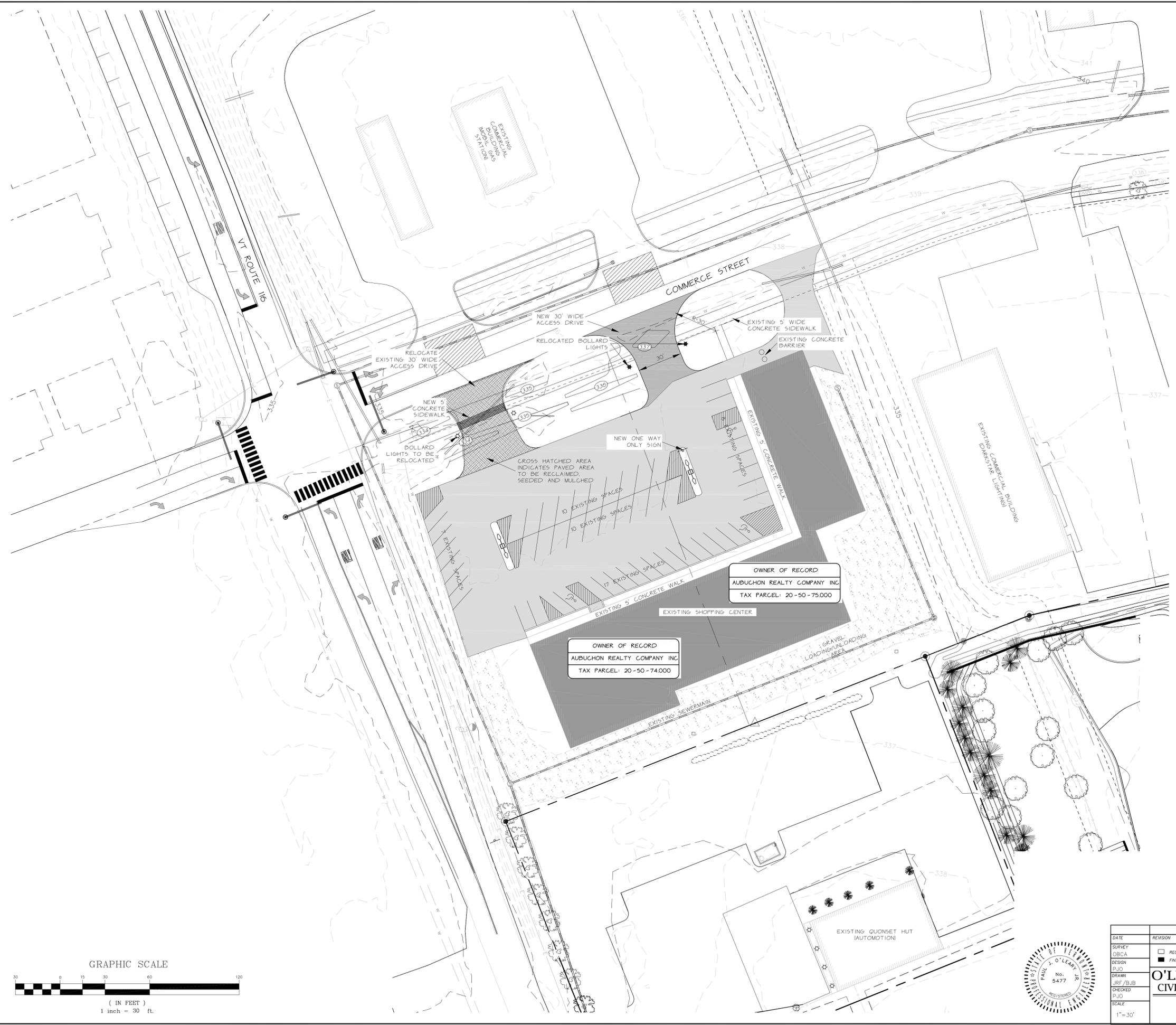
Date

Do Not Write Below This Line

Date Application Submitted: _____ Zoning District _____ Parcel Acreage _____

Received on: _____ Staff Contact: _____

All of the above documents and materials, when submitted, shall be retained by the Zoning Administrator as part



Legend

- — — — — PROPERTY BOUNDARY
 - — — — — OTHER PROPERTY LINE
 - - - - - SIDELINE OF EASEMENT
 - - - - - CONTOUR LINE (USGS & DATUM)
 - (340)— PROPOSED FINISH GRADE CONTOUR
 - ~~~~~ EDGE OF WOODED AREA
 - ~~~~~ EDGE OF WETLAND (CLASS III)
 - EXISTING IRON PIPE
 - EXISTING CONCRETE MONUMENT
 - IRON PIPE (TO BE SET)
 - PROPERTY BOUNDARY
 - ETC — EXISTING ELECTRIC/TV/TELEPHONE LINE
 - S — EXISTING SEWERLINE
 - □ — EXISTING STORMLINE
 - W — EXISTING WATERLINE
 - ⊕ EXISTING/PROPOSED HYDRANT
 - ☆ EXISTING/PROPOSED BUILDING MOUNTED LUMINARIE
 - AcD ■ ■ ■ ■ ■ SOIL TYPE & BOUNDARY
- (NOTE: PROPOSED UTILITIES ARE SHOWN AS A SOLID LINE)

Zoning Information

ZONING DISTRICT: COMMERCIAL

DIMENSIONAL REQUIREMENTS

	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE	202 - AC.
MINIMUM LOT FRONTAGE	60'	335'
MINIMUM LOT DEPTH	100'	270'
MINIMUM FRONT SETBACK	10'	>10'
MINIMUM SIDE SETBACK	10'	>10'
MINIMUM REAR SETBACK	10'	>10'
MAXIMUM LOT COVERAGE	60%	76%*

*NOTE: AS CURRENTLY APPROVED THE EXISTING LOT COVERAGE IS 77%. THE CURRENT PROPOSAL TO RELOCATE THE ENTRANCE DRIVE WILL REDUCES THE TOTAL COVERAGE TO 76%.

COVERAGE CALCULATION

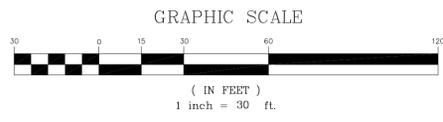
PARCEL AREA (EXISTING)	PARCEL AREA (PROPOSED)
202 - ACRES	202 - ACRES
COVERAGE (EXISTING) - 156 - ACRES	COVERAGE (PROPOSED) - 154 - ACRES

PARKING

EXISTING: 52 SPACES (2 HANDICAPPED SPACES + 2 VAN ACCESSIBLE SPACES)
 PROPOSED: 52 SPACES (2 HANDICAPPED SPACES + 2 VAN ACCESSIBLE SPACES)

OWNER OF RECORD
 AUBUCHON REALTY COMPANY INC.
 TAX PARCEL: 20-50-75.000

OWNER OF RECORD
 AUBUCHON REALTY COMPANY INC.
 TAX PARCEL: 20-50-74.000



DATE	REVISION	BY
SURVEY	□ RECORD DRAWING □ PRELIMINARY	DATE
DESIGN	■ FINAL □ SKETCH/CONCEPT	8-01-13
DESIGN		JOB#
1/10		9066
DRAWN		FILE
JRF/BJB		CURRENT
CHECKED		PLAN SHEET #
PJO		1
SCALE		
1"=30'		

O'LEARY-BURKE
CIVIL ASSOCIATES, PLC

1 CORPORATE DRIVE, SUITE #1
 ESSEX, VT, VT
 PHONE: 878-9989
 FAX: 878-9989
 E-MAIL: obca@olearyburke.com

Firehouse Plaza

VT Route 116 Hinesburg, VT

30-Scale Site Plan